

TOWN OF FRANKLIN
7 Meetinghouse Hill Rd., Franklin, CT 06254
INLAND WETLANDS AND WATERCOURSES COMMISSION (IWWC)

APPLICATION FOR WETLANDS PERMIT

APPLICATION NO. _____ (Assigned by Admin upon receipt of application fees) DATE: 05-11-2021

TOTAL APPLICATION FEES PAID \$ 970.00 (fees determined by Wetlands Enforcement Officer)

APPLICANT: The Grossman Companies; c/o Jacob Grossman (PRINT) SIGNATURE: 

APPLICANT STATUS (circle one): OWNER AGENT OF OWNER POTENTIAL BUYER

ADDRESS OF APPLICANT: 859 Willard Street, Suite 501 Quincy, MA 02169

E-MAIL ADDRESS OF APPLICANT: jake@grossmanco.com TELEPHONE NO.: 617-472-2049

PROPERTY LOCATION: New Park Avenue, Franklin, CT 06254 / 40 Wisconsin Avenue, Norwich, CT 06360

ASSESSOR'S MAP# 53-44-32 LOT # _____ ZONE DISTRICT: Ind.

PROPERTY OWNER: Norwich 40 TGCI LLC (PRINT) SIGNATURE: 

ADDRESS OF PROPERTY OWNER 859 Willard Street, Suite 501 Quincy, MA 02169

E-MAIL ADDRESS OF OWNER: jake@grossmanco.com TELEPHONE NO.: 617-472-2049

EXISTING USE OF PROPERTY: Vacant Land

DESCRIPTION OF PROPOSED ACTIVITY: Creating a 182-space parking lot for tractor trailers.

APPLICATION PROPOSED ACTIVITY

FEE

FEES DUE

| | | | |
|-------------------------------------|---|---|--------------------------------|
| <input type="checkbox"/> | * Pre-application Meeting with Town Staff (Town Planner, Town Engineer or Inland Wetland Enforcement Officer) | \$100 Per hour after first hour [first hour NO CHARGE] | @ conclusion of meeting |
| <input type="checkbox"/> | Public Hearing | \$250 | With Application |
| <input type="checkbox"/> | Jurisdictional Ruling (including Legal Notice) | \$125 | With Application |
| <input checked="" type="checkbox"/> | New Subdivision AND/OR Site Plan Review for Regulated Activities (Public Hearing May be required) | \$200 plus \$100 per page \$200 + (7 x \$100) = \$900 | With Application |
| <input type="checkbox"/> | Revised Subdivision AND/OR Site Plan Review For Regulated Activities (Public Hearing May be required) | \$100 plus \$100 per page | With Application |
| <input type="checkbox"/> | New Subdivision AND/OR Site Plan Review for significant Activities (Public Hearing Required) | \$500 plus \$100 per page | With Application |
| <input type="checkbox"/> | Revised Subdivision AND/OR Site Plan Review for Significant Activities (Public Hearing Required) | \$100 plus \$100 per page | With Application |
| <input type="checkbox"/> | Supervision & Inspection (unless Otherwise specified by Commission) | 5% of estimated cost of proposed improvements (\$200 Minimum) | Prior to Issuance of Permit |
| <input type="checkbox"/> | Renewals or Extensions (not requiring plan review) | \$25 | With Application |
| <input checked="" type="checkbox"/> | ADD Town Administrative fee (as noted above) | <u>\$ 10.00</u> | With Application |
| <input checked="" type="checkbox"/> | ADD State Administrative fee (as noted above) | <u>\$ 60.00</u> | With Application |

TOTAL FEES \$ 970.00 (enter under "TOTAL FEES PAID" top of page) **OVER →**

PER TOWN ORDINANCE FOR PROCESSING APPLICATION – Administrative Fees:

Cost to Review: In the event the cost to review, evaluate, and process an application/plans exceeds applicable fees set forth in the Town of Franklin Fee Ordinance, the applicant shall pay all reasonable additional costs incurred by the Town upon notification of such additional costs. Until additional costs are paid, the Town or agency or officer, thereof, may withhold the issuance of permits, the endorsement of maps or plans, and/or the release of any bond held.

Checks: Payable to "The Town of Franklin": ****FEES ARE NON-REFUNDABLE**** (Includes State, Town, & Application Fees)

PER TOWN ORDINANCE FOR PROCESSING APPLICATION – Advertising & Consulting Fees:

Advertising: The Town reserves the right to charge the applicant for advertising costs where the costs exceed the application fee that is normally used to pay for advertising.

Consulting Services: In accordance with the Town of Franklin Fee Ordinance on the Processing Applications where it has been determined by the Agent or Commission that it must consult with experts to analyze, review, and report on areas requiring a detailed, technical peer review in order to assist the Agent or Commission in evaluating the effect of a proposal on the Town, the Agent or Commission may require the Applicant pay these costs. These fees will be paid to the Town for the Agent or Commission's use prior to proceeding on the application based on a preliminary estimate from such experts, multiplied by 150%. Upon completion of technical review & a full accounting of the charges owed or paid, any excess funds will be refunded to the applicant.

***STATE FEES:** Per Connecticut General Statute-Section 22a-27j, an additional fee is to be added to all application fees for the Environmental Quality Fund.

NOTES TO APPLICANT

- 1. Provide **FIVE (5)** copies of application & supporting materials (including site plans)
- 2. **Send PDF FILES of Proposed Plans to:** cholzschuh@seccog.org & landuse@franklinct.com

IS PROPERTY LOCATED W/I 500 FT OF ADJOINING MUNICIPALITY? Yes TOWNS: Norwich, CT

ARE ALL PROPERTY TAXES PAID TO DATE ON THIS PROPERTY?: Yes

WILL A SIGNIFICANT PORTION OF TRAFFIC TO THE COMPLETED PROJECT SITE USE STREETS WITHIN ADJOINING MUNICIPALITY TO ENTER OR EXIT THE SITE? Yes

WILL A SIGNIFICANT PORTION OF THE SEWER OR WATER DRAINAGE FROM THE PROJECT SITE FLOW AND SIGNIFICANTLY IMPACT THE SEWERAGE OR DRAINAGE SYSTEM WITHIN THE ADJOINING MUNICIPALITY? No

WILL WATER RUN-OFF FROM IMPROVED SITE IMPACT STREETS OR OTHER MUNICIPAL OR PRIVATE PROPERTY WITHIN ADJOINING MUNICIPALITY? No

Please review Inland Wetlands and Watercourses Regulations that may apply to your application including Section 7 @ www.franklinct.com

IN SIGNING BELOW, IT IS AGREED THE APPLICANT IS FAMILIAR WITH ALL INFORMATION PROVIDED IN THE APPLICATION AND IS AWARE OF PENALTIES FOR OBTAINING A PERMIT THROUGH DECEPTION OF THROUGH INACCURATE OR MISLEADING INFORMATION.

PROPERTY OWNER SIGNATURE:  **Date:** 5/12/2021

APPLICANT SIGNATURE: _____ **Date:** _____
(if different from Property Owner)

[COMMISSION USE ONLY]

Signature of Wetlands Enforcement Officer _____

Signature of Chairman or Secretary of Commission _____

Application Approved: Date: _____

Conditions of Approval, if any: _____

Application Denied: Date : _____

Reason for Denial: _____



Statewide Inland Wetlands & Watercourses Activity Reporting Form

Please complete this form in accordance with the instructions on pages 2 and 3 and mail to:

DEEP Land & Water Resources Division, Inland Wetlands Management Program, 79 Elm Street, 3rd Floor, Hartford, CT 06106

Incomplete or incomprehensible forms will be mailed back to the inland wetlands agency.

PART I: Must Be Completed By The Inland Wetlands Agency

- DATE ACTION WAS TAKEN: year: _____ month: _____
- ACTION TAKEN (see instructions - one code only): _____
- WAS A PUBLIC HEARING HELD (check one)? yes no
- NAME OF AGENCY OFFICIAL VERIFYING AND COMPLETING THIS FORM:
(print name) _____ (signature) _____

PART II: To Be Completed By The Inland Wetlands Agency Or The Applicant

- TOWN IN WHICH THE ACTIVITY IS OCCURRING (print name): Franklin
does this project cross municipal boundaries (check one)? yes no
if yes, list the other town(s) in which the activity is occurring (print name(s)): Norwich, _____
- LOCATION (see instructions for information): USGS quad name: Norwich or number: 72
subregional drainage basin number: 4201
- NAME OF APPLICANT, VIOLATOR OR PETITIONER (print name): The Grossman Companies; c/o Paul E. Dawson
- NAME & ADDRESS OF ACTIVITY / PROJECT SITE (print information): New Park Avenue, Franklin, CT 06254 /
40 Wisconsin Avenue, Norwich, CT 06360
briefly describe the action/project/activity (check and print information): temporary permanent description: Creating a 182-space parking lot for tractor trailers.
- ACTIVITY PURPOSE CODE (see instructions - one code only): D
- ACTIVITY TYPE CODE(S) (see instructions for codes): 2, 3, 10, 12
- WETLAND / WATERCOURSE AREA ALTERED (see instructions for explanation, must provide acres or linear feet):
wetlands: N/A acres open water body: N/A acres stream: N/A linear feet
- UPLAND AREA ALTERED (must provide acres): 0.30 acres (in Franklin) 0.35 Acres in total
- AREA OF WETLANDS / WATERCOURSES RESTORED, ENHANCED OR CREATED (must provide acres): N/A acres

DATE RECEIVED:

PART III: To Be Completed By The DEEP

DATE RETURNED TO DEEP:

FORM COMPLETED: YES NO

FORM CORRECTED / COMPLETED: YES NO



EcoTec, Inc.

ENVIRONMENTAL CONSULTING SERVICES

102 Grove Street

Worcester, MA 01605-2629

508-752-9666 / Fax: 508-752-9494

June 9, 2020

Steven Horsfall, PLS
Kelly Engineering Group, Inc.
9 Campanelli Drive
Braintree, MA 02184

Re: 40 Wisconsin Avenue, Norwich & Franklin, CT

Subject: Wetland & Soil Evaluation Report

Dear Steven:

Per your request, on May 26, 2020, I, Arthur Allen of EcoTec was present on the above-referenced property. The purpose of this inspection was to evaluate adjacent parcels totaling 28-acres (a.k.a.; the "Site") with regard to the presence of Wetlands and Watercourses, as defined by the Connecticut Inland Wetlands and Watercourses Act of 1972, the Federal Clean Water Act (Section 404), the Inland Wetland and Watercourse Regulations of Norwich and Franklin, CT and the Wetland Commissioners Handbook of 1994. The attached USGS Topographic Map section displays the project site location. Following is a description of the project site, delineation procedures and Wetlands and Watercourses present.

Project Description:

The project site consists of two parcels, one of which is in Norwich and one of which is in Franklin. The Norwich parcel is largely developed with a large industrial building surrounded by paved areas. The Franklin parcel is wooded and undeveloped. Wetlands on the Site are associated with two, unnamed Watercourses. The Watercourses do not appear on the USGS Topographic Map. The delineation of wetlands on this site was based on the presence or absence of poorly and very poorly drained, alluvial and floodplain soils as defined by the National Cooperative Soil Survey of the Natural Resources Conservation Service of the United States Department of Agriculture. During the course of the evaluation, reference was made to the most recent USDA – NRCS Web Soil Survey Report (see attached); the 1987 “Corps of Engineers Wetlands Delineation Manual” (Department of the Army, Technical Report Y-87-1); the January, 2012 Regional Supplement to the Corps of Engineers Wetland Delineation Manual: Northcentral and Northeast Region (Version 2.0); the “Field Indicators for Identifying Hydric Soils in New England” (New England Hydric Soils Technical Committee, 2017. 4th ed., New England Interstate Water Pollution Control Commission, Lowell, MA); and the National Flood Insurance Program FIRM map for Norwich and Franklin, CT (see attached). Representative soil descriptions were completed along one transect associated with the wetlands delineated. Sample plots TP-U and TP-W (marked with pink/black striped flags), are located in the vicinity of wetland flag A-36. Soil descriptions

recorded at sampling transects, and supporting documentation, can be found on the EcoTec, Inc. Soil Description forms (attached).

In the table below you will find the flag series numbers, types and locations, as established, to delineate Wetland Resource Areas on this site.

| Flag Numbers | Flag Type | Wetland Types and Locations* |
|---------------------|------------------|--|
| A-1 to A-59 | Blue Flags | Boundary of Inland Wetland associated with Intermittent Watercourses in south and west portions of site. Flag A47 connects to AA16. Flag A49 connects to AB16. There is no flag A-48. Locate culvert outlet between A29 & A30. |
| AA-1 to AA-16 | Blue Flags | Northerly boundary of Inland Wetland associated with Intermittent Watercourse in west corner of site. Flag AA16 connects to A47. |
| AB-1 to AB-16 | Blue Flags | Southerly boundary of Inland Wetland associated with Intermittent Watercourse in west corner of site. Flag AB16 connects to A49. |
| B-1 to B-4 | Blue Flags | Southerly end of Inland Wetland along the north-central property line. |
| C-1 to C-9 | Blue Flags | East side of Inland Wetland at the northerly corner of property. |

*Please note that a 100-foot Upland Review Area is associated with the delineated wetland resource boundaries under the Norwich Wetland Bylaw Regulations and a 50-foot Upland Review Area is associated with the wetlands under the Franklin Wetland Bylaw Regulations.

Wetlands & Watercourses:

Following are descriptions of the Wetlands and Watercourses identified and delineated within 100 feet of the project area:

- Wetland flag series A, AA & AB delineate an Inland Wetland associated with unmapped watercourses. This wetland is a wooded swamp dominated by red maple and yellow birch trees over highbush blueberry shrubs and jack-in-the-pulpit, cinnamon fern, New York fern and marsh fern ground cover. Soils within the wetlands are hydric. Mapped soils in the vicinity of the wetland consist of moderately well to poorly drained Inceptisols which developed in lodgement till. The wetlands fall within areas mapped as Ridgebury-Leicester-Whitman Association, Sutton Fine Sandy Loam and Charlton-Chatfield Complex.
- Wetland flag series B delineates the southerly end of an off-site, Inland Wetland associated with a seasonal ponding area. This wetland is a wooded swamp dominated by red maple and highbush blueberry. Soils within the wetland are a hydric inclusion within the mapped Charlton-Chatfield Complex.

- Wetland flag series C delineates the westerly edge of an off-site Inland Wetland located at the northerly property corner in Franklin. The wetland is a wooded swamp associated with an off-site Watercourse. Vegetation includes red maple and green ash trees over highbush blueberry and winterberry shrubs. Soils consist of a poorly drained inclusion within the mapped soil type of Charlton-Chatfield Complex.

Rare Species:

Based upon a review of the December, 2019 *Natural Diversity Database Areas* map for Norwich, CT the site is not located within a State and Federal Listed Species or Critical Habitat area (see attached).

Summary:

It is my opinion that the areas described above and field delineated are a complete and accurate representation of the Wetlands and Watercourses delineated in the project area (see above). This opinion is based upon observations made of existing conditions on the dates noted above. The reader should be aware that regulatory authority for determining wetland jurisdiction rests with local, state, and federal authorities. I have attached a brief description of my experience and qualifications. Please do not hesitate to contact me if you have any questions concerning this or other matters.

Sincerely,



Arthur Allen, CPSS, CWS, CESSWI
Senior Soil & Environmental Scientist

enclosures

Arthur Allen, CPSS, CWS, CESSWI
Vice President
Soil & Wetland Scientist

Arthur Allen is the Vice President of EcoTec, Inc. and has been a senior environmental scientist there since 1995. His work with EcoTec has involved wetland delineation, wildlife habitat evaluation, environmental permitting (federal, state and local), environmental monitoring, expert testimony, peer reviews, contaminated site assessment and the description, mapping and interpretation of soils. His clients have included private landowners, developers, major corporations and regulatory agencies. Prior to joining EcoTec, Mr. Allen mapped and interpreted soils in Franklin County, MA for the U.S.D.A. Natural Resources Conservation Service (formerly Soil Conservation Service) and was a research soil scientist at Harvard University's Harvard Forest. Since 1994, Mr. Allen has assisted the Massachusetts Department of Environmental Protection and the Massachusetts Association of Conservation Commissions as an instructor in the interpretation of soils for wetland delineation and for the Title V Soil Evaluator program.

Mr. Allen has a civil service rating as a soil scientist, an undergraduate degree in Natural Resource Studies and a graduate certificate in Soil Studies. His work on the Franklin County soil survey involved interpretation of landscape-soil-water relationships, classifying soils and drainage, and determining use and limitation of the soil units that he delineated. As a soil scientist at the Harvard Forest, Mr. Allen was involved in identifying the legacies of historical land-use in modern soil and vegetation at a number of study sites across southern New England. He has a working knowledge of the chemical and physical properties of soil and water and how these properties interact with the plants that grow on a given site. While at Harvard Forest he authored and presented several papers describing his research results which were later published. In addition to his aforementioned experience, Mr. Allen was previously employed by the Trustees of Reservations as a land manager and by the Town of North Andover, MA as a conservation commission intern.

Education:

1993-Graduate Certificate in Soil Studies, University of New Hampshire

1982-Bachelor of Science in Natural Resource Studies, University of Massachusetts

Professional Affiliations:

Certified Professional Soil Scientist (ARCPACS CPSS #22529)

New Hampshire Certified Wetland Scientist (#19)

Registered Professional Soil Scientist – Society of Soil Scientists of SNE [Board Member (2000-2006)]

Certified Erosion, Sediment & Stormwater Inspector (#965)

Massachusetts Arborists Association-Certified Arborist (1982 – 1998)

New England Hydric Soils Technical Committee member

Massachusetts Association of Conservation Commissions member

Society of Wetland Scientists member

Refereed Publications:

Soil Science and Survey at Harvard Forest. A.Allen. In: Soil Survey Horizons. Vol. 36, No. 4, 1995, pp. 133-142.

Controlling Site to Evaluate History: Vegetation Patterns of a New England Sand Plain. G.Motzkin, D.Foster,

A.Allen, J.Harrold, & R.Boone. In: Ecological Monographs 66(3), 1996, pp. 345-365.

Vegetation Patterns in Heterogeneous Landscapes: The Importance of History and Environment. G.Motzkin,

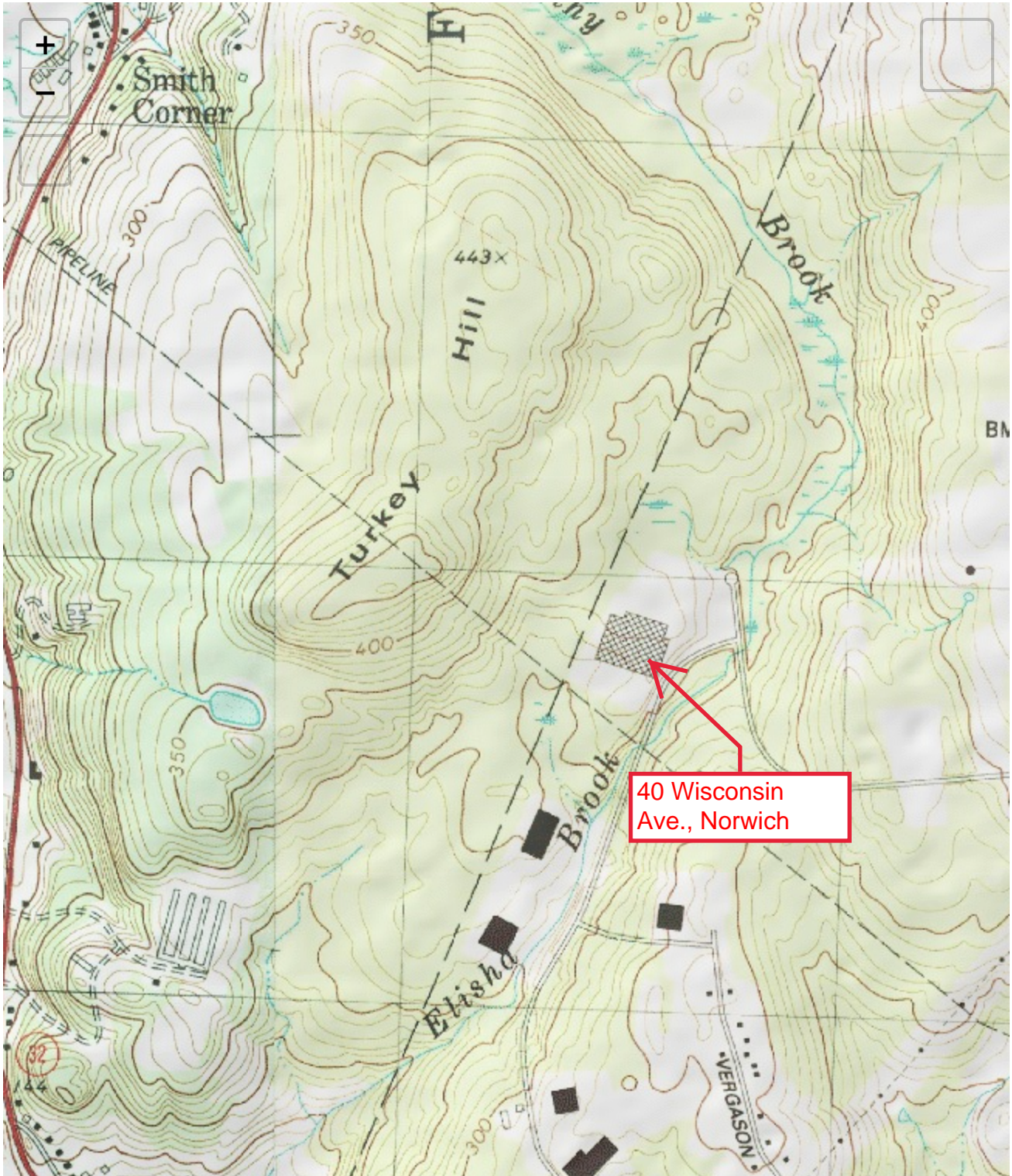
P.Wilson, D.R.Foster & A.Allen. In: Journal of Vegetation Science 10, 1999, pp. 903-920.

ECO TEC, INC. SOIL DESCRIPTIONS

| SITE: 40 Wisconsin Ave., Norwich & Franklin, CT PLOT #: A-36 (Upland) BY: Arthur Allen, CPSS, CWS DATE: 5/26/2020 USDA SOIL TYPE: Sutton Fine Sandy Loam DRAINAGE: Moderately Well Drained | | | | |
|--|-------------|--------------|---|---|
| HORIZON | DEPTH (in.) | MATRIX COLOR | REDOXIMORPHIC FEATURES color, abundance, size, contrast | USDA texture; nodules, concretions, masses, pore linings, restrictive layers, root distribution, soil water, etc. |
| Litter | 2 | | | |
| O | 2-0 | | | |
| A | 0-5 | 10YR 2/2 | None | Very Stony Fine Sandy Loams |
| Bw | 5-14 | 10YR 4/6 | None | Very Stony Fine Sandy Loams |
| HYDRIC SOIL CRITERION MET: No REFERENCE: USACOE Manual & 2017 New England Field Indicators HYDRIC SOIL INDICATORS: None NOTES: Moderately Well Drained | | | | |

| SITE: 40 Wisconsin Ave., Norwich & Franklin, CT PLOT #: A-36 (Wetland) BY: Arthur Allen, CPSS, CWS DATE: 5/26/2020 USDA SOIL TYPE: Inclusion within Sutton Fine Sandy Loam DRAINAGE: Poorly Drained | | | | |
|--|-------------|--------------|---|---|
| HORIZON | DEPTH (in.) | MATRIX COLOR | REDOXIMORPHIC FEATURES color, abundance, size, contrast | USDA texture; nodules, concretions, masses, pore linings, restrictive layers, root distribution, soil water, etc. |
| Litter | 1 | | | Water-Stained Leaves |
| Oa | 0-10 | 10YR 2/1 | | Muck |
| Cg | 10-14 | 10YR 4/1 | None | Stony Silt Loam |
| HYDRIC SOIL CRITERION MET: Yes REFERENCE: USACOE Manual & 2017 New England Field Indicators HYDRIC SOIL INDICATORS: Histic Epipedon over Depleted Matrix NOTES: Poorly Drained, Groundwater at Surface | | | | |

Norwich Topo Map in New London County Connecticut



[Print this map](#)

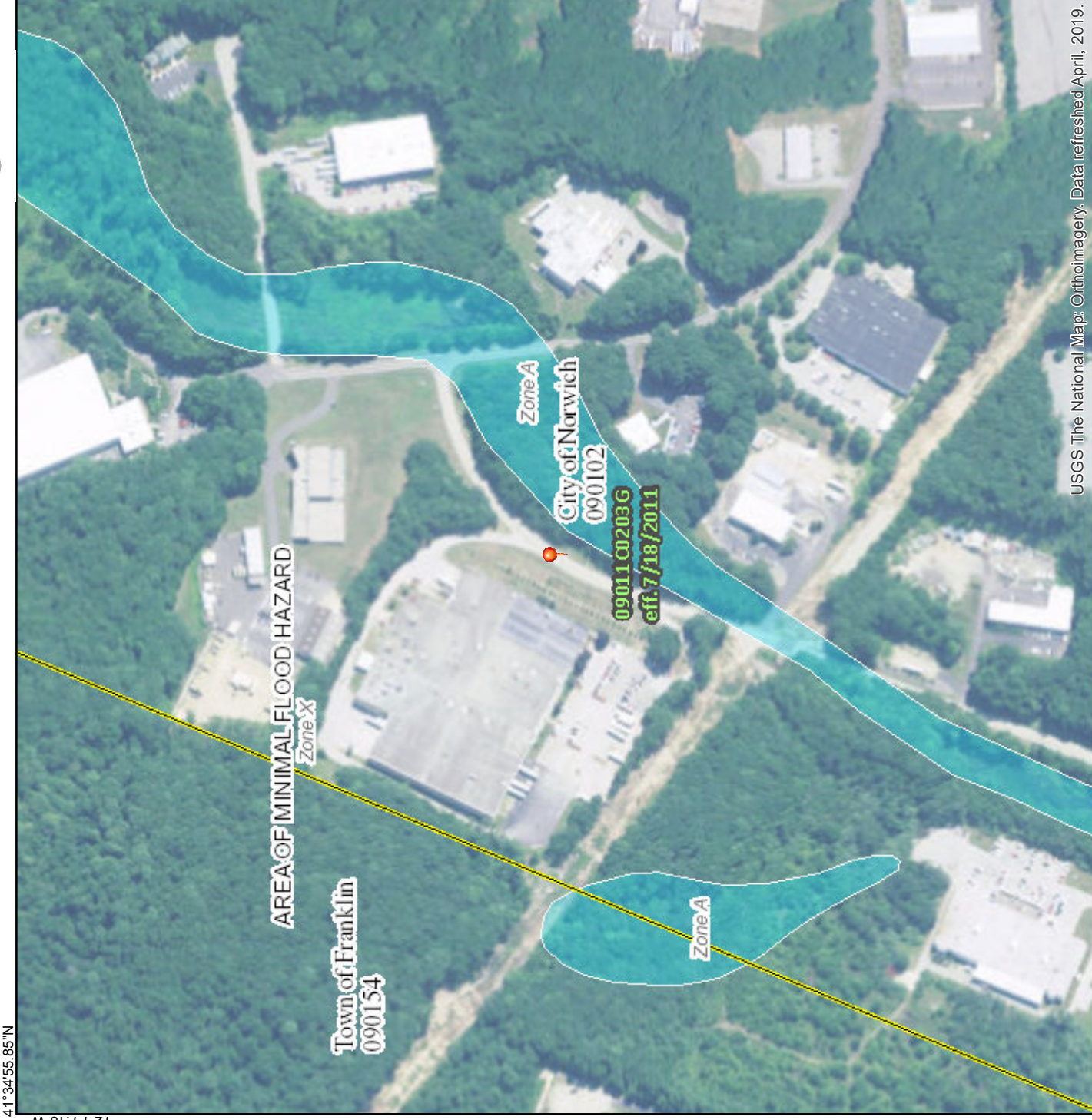
Map provided by TopoZone.com

National Flood Hazard Layer FIRMette



41°34'55.85"N

72°7.18'W



USGS The National Map: Orthoimagery, Data refreshed April, 2019.



Legend

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

SPECIAL FLOOD HAZARD AREAS

- Without Base Flood Elevation (BFE)
Zone A, V, A99
- With BFE or Depth *Zone AE, AO, AH, VE, AR*
- Regulatory Floodway

OTHER AREAS OF FLOOD HAZARD

- 0.2% Annual Chance Flood Hazard, Areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile *Zone X*
- Future Conditions 1% Annual Chance Flood Hazard *Zone X*
- Area with Reduced Flood Risk due to Levee. See Notes. *Zone X*
- Area with Flood Risk due to Levee *Zone D*

OTHER AREAS

- Area of Minimal Flood Hazard *Zone X*
- Effective LOMR
- Area of Undetermined Flood Hazard *Zone D*

GENERAL STRUCTURES

- Channel, Culvert, or Storm Sewer
- Levee, Dike, or Floodwall

OTHER FEATURES

- Cross Sections with 1% Annual Chance Water Surface Elevation
- Coastal Transect
- Base Flood Elevation Line (BFE)
- Limit of Study
- Jurisdiction Boundary
- Coastal Transect Baseline
- Profile Baseline
- Hydrographic Feature

MAP PANELS

- Digital Data Available
- No Digital Data Available
- Unmapped

The pin displayed on the map is an approximate point selected by the user and does not represent an authoritative property location.

This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The basemap shown complies with FEMA's basemap accuracy standards

The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on **6/9/2020 at 5:00:22 PM** and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

This map image is void if the one or more of the following map elements do not appear: basemap imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, FIRM panel number, and FIRM effective date. Map images for unmapped and unmodernized areas cannot be used for regulatory purposes.




72°6'29.72"W

41°34'28.94"N

Natural Diversity Data Base Areas

NORWICH, CT

December 2019

-  State and Federal Listed Species
-  Critical Habitat
-  Town Boundary

NOTE: This map shows general locations of State and Federal Listed Species and Critical Habitats. Information on listed species is collected and compiled by the Natural Diversity Data Base (NDDB) from a variety of data sources. Exact locations of species have been buffered to produce the generalized locations.

This map is intended for use as a preliminary screening tool for conducting a Natural Diversity Data Base Review Request. To use the map, locate the project boundaries and any additional affected areas if the project is within a hatched area there may be a potential conflict with a listed species. For more information, complete a Request for Natural Diversity Data Base State Listed Species Review form (DEP-APP-007), and submit it to the NDDB along with the required maps and information. More detailed instructions are provided with the request form on our website.

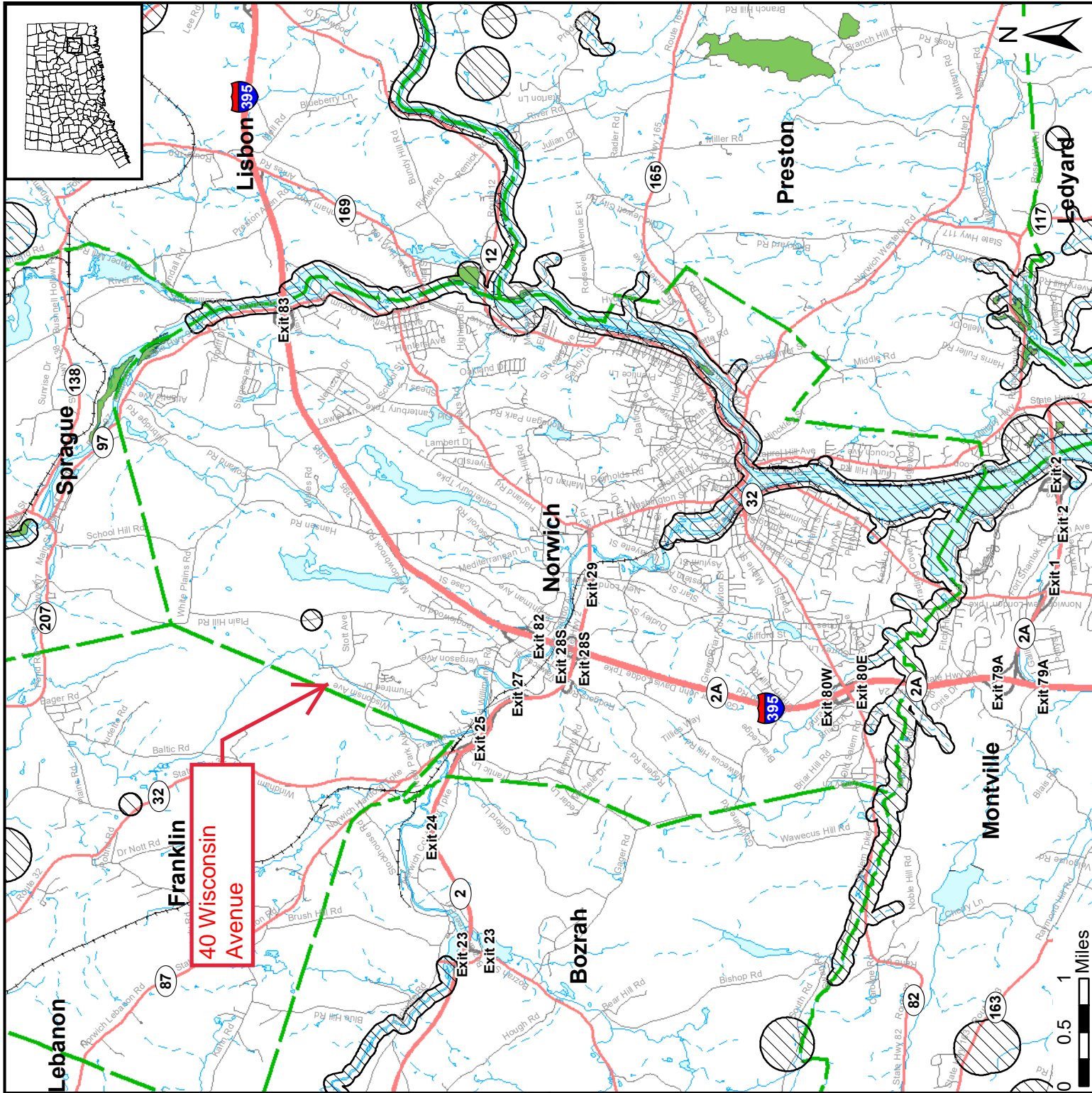
www.ct.gov/deep/nddbrequest

Use the CTECO Interactive Map Viewers at www.cteco.uconn.edu to more precisely search for and locate a site and to view aerial imagery with NDDB Areas.

QUESTIONS: Department of Energy and Environmental Protection (DEEP)
79 Elm St, Hartford, CT 06106
email: deep.nddbrequest@ct.gov
Phone: (860) 424-3011



Connecticut Department of
Energy & Environmental Protection
Bureau of Natural Resources
Wildlife Division



List of adjacent land owners

40-Wisconsin Ave, Norwich (M/L/B - 27/ 1/13)

New Park Ave, Lisbon (M/L/B - 53/44/32)

Connecticut, State of
38 Stott Ave
Norwich CT 06360

Connecticut Municipal Electric
Energy Cooperative
30 Stott Ave
Norwich, CT 06360

Nordic Realty LLC
c/o Anchor Insulation Co. Inc.
435 Narragansett Park Dr.
Pawtucket, RI 02861

Poppins Hill LLC
12 E Market Street
Bethlehem, PA 18018

Connecticut, State of
165 Capital Ave
Hartford, CT 06106

Nalas Engineering Services, Inc.
85 Westbrook Rd
Colchester, CT 06409

Norwich 40 TGCI LLC
859 Willard Street STE 501
Quincy, MA 02169

Nordic Realty, LLC
435 Narragansett Park DR
Pawtucket, RI 02861

New Park I LLC
P.O. Box 276
Mystic, CT 06355

395/2 Flex Center, LLC
P.O. Box 276
Mystic, CT 06355